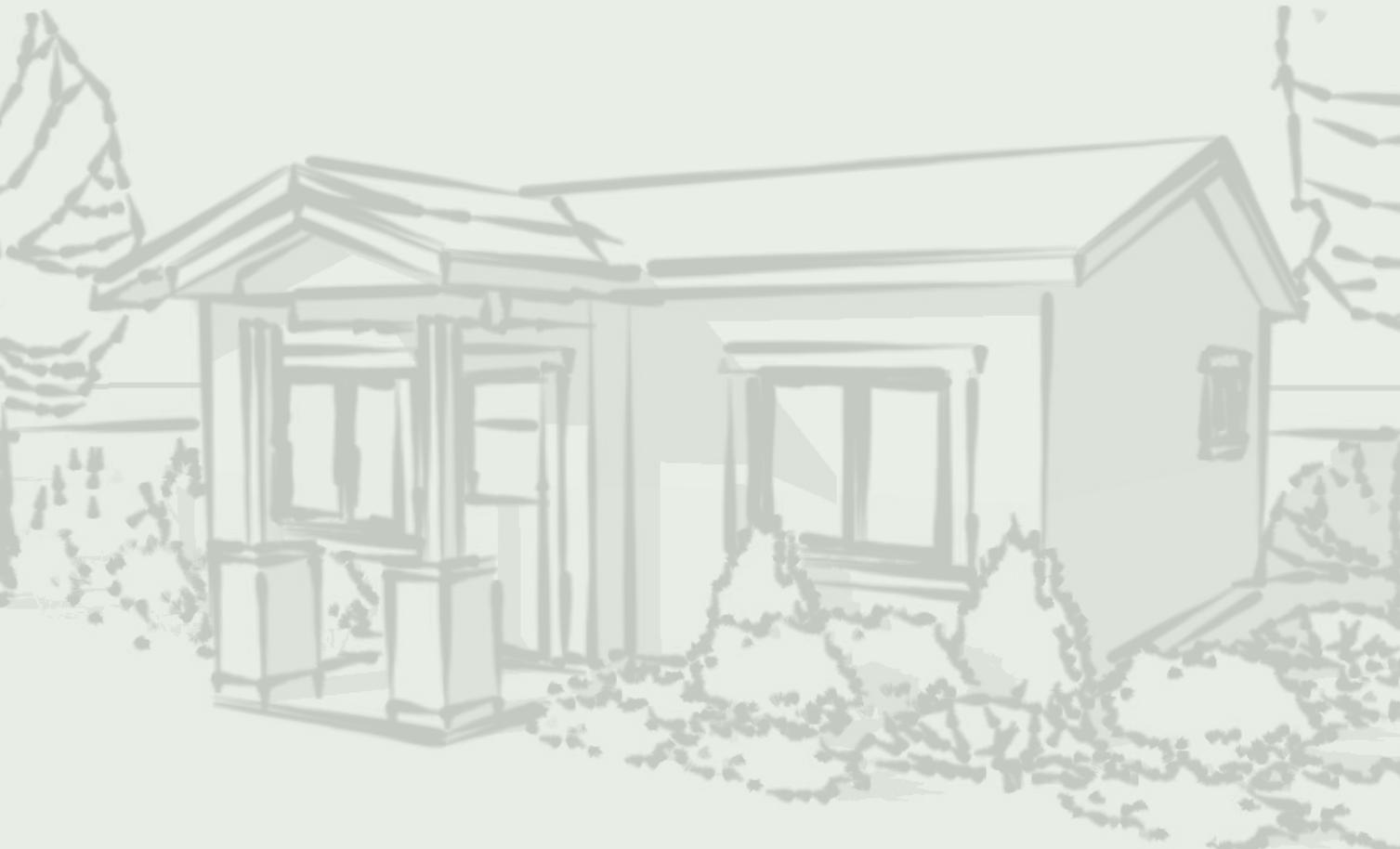


ACCESSORY DWELLING UNIT MANUAL



DUBLIN
CALIFORNIA



STEP-BY-STEP GUIDE
TO CONSTRUCTING
ACCESSORY
DWELLING UNITS

APRIL 29, 2022



DUBLIN
CALIFORNIA



ACKNOWLEDGMENTS

CITY COUNCIL

Melissa Hernandez - Mayor
Jean Josey - Vice Mayor
Shawn Kumagai
Sherry Hu
Michael McCoriston

PLANNING COMMISSION

Dawn Benson
Catheryn Grier
Kashef Qaadri
Janine Thalblum
Renata Tyler
Stephen Wright

CITY STAFF

Jeff Baker - Community Development Director
Kristie Wheeler - Assistant Community Development Director
Michael P. Cass – Principal Planner





DUBLIN
CALIFORNIA



TABLE OF CONTENTS

1 CHAPTER 1: WHERE TO START

07	Introduction and Purpose
07	How to Use this Manual
08	What is an ADU?
08	What is a JADU?
08	Examples of ADU Configurations
09	ADU Considerations for Typical Residential Properties
09	Tips for Selecting a Design Professional or Contractor
10	ADU Process

2 CHAPTER 2: DESIGN CONSIDERATIONS

12	Compatibility and Neighborhood Character
13	Design Compatibility
13	Architectural Consistency
14	Design Concepts
15	Zoning Ordinance Requirements
17	Parking Requirements
17	Exceptions to ADU Parking Requirements

3 CHAPTER 3: ADU CONCEPTS AND TYPES

19	Garage Conversions: Freestanding
19	Garage Conversions: Attached
20	Detached ADU
20	Attached ADU
21	ADU Addition to Garage
21	JADU

4 CHAPTER 4: IMPLEMENTATION

23	Financing - Where to Start
23	Cost Considerations
24	Cost Saving Opportunities
25	Permitting

5 CHAPTER 5: GLOSSARY AND RESOURCES

27	Terms and Definitions
29	Resources



CHAPTER 1: WHERE TO START



DUBLIN
CALIFORNIA



CHAPTER 1: WHERE TO START

INTRODUCTION AND PURPOSE

The City of Dublin is dedicated to promoting the development of Accessory Dwelling Units (ADUs) to increase the availability of affordable housing choices within the community. This Manual has been developed to assist homeowners with the process of developing an ADU. This includes information about ADU design, construction, and permitting, as well as resources to assist with creating an ADU in one easy to use location.

The City has developed a range of permit ready ADU prototype plans to save the property owner money, expedite the permit process, and result in well-designed ADUs. To view the prototype plans, please refer to the link in Chapter 4 or contact the Planning Division. A property owner may also chose to construct a pre-fabricated ADU or design a custom unit.

There are many possible options for ADU design, and this Manual is intended to help property owners explore the possibility of adding an ADU or JADU to their lot and guide property owners through the process.

**If you have any questions regarding
ADU requirements, contact the
Planning Division at (925) 833-6610
or visit the ADU webpage at
<https://dublin.ca.gov/2428/>**

HOW TO USE THIS MANUAL

This Manual is organized in the following chapters: Where to Start, Design Considerations, ADU Concepts and Types, Implementation, and Glossary and Resources.

Begin by reviewing this Manual and determine the following:

- Can I add an ADU or JADU to my lot?
- Where can I construct an ADU or JADU?
- What can my ADU look like?
- What is the process to build an ADU?

WHAT IS AN ADU?

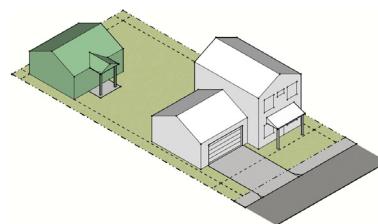
An Accessory Dwelling Unit, or ADU, is a residential unit that provides independent living facilities for one or more persons and includes separate kitchen, sleeping, and bathroom facilities. An ADU may be a part of, attached to, or detached from a single-family, two-family, or multi-family residence and is subordinate to the principal residence. Historically, ADUs have been called "Granny units," "Second Units," or "Guest Homes."

WHAT IS A JADU?

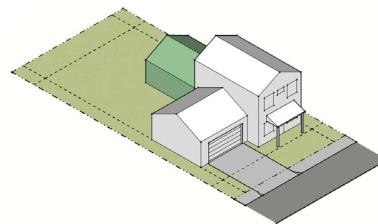
A Junior Accessory Dwelling Unit, or JADU, is a residential unit that is contained entirely within a principal residence, such as a bedroom or garage. A JADU includes a small efficiency kitchen with a sink, and a separate entrance from the main entry of the principal residence. JADUs may share an existing bathroom and central systems, and do not require fire separation.

EXAMPLES OF ADU CONFIGURATIONS

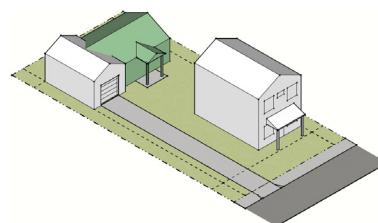
(A) Add a detached ADU to your lot



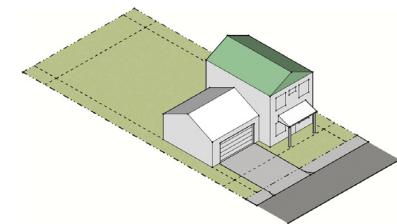
(B) Add an attached ADU to your principal residence



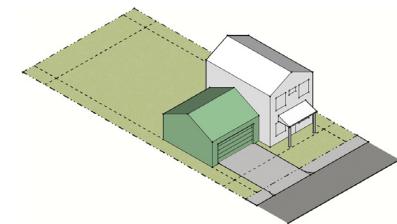
(C) Add an attached ADU to your detached garage



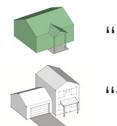
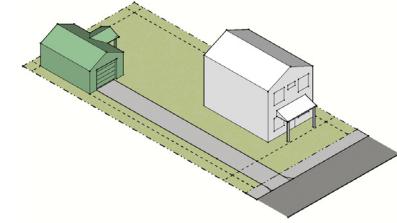
(D) Convert part of your existing principal residence to an ADU or JADU



(E) Convert your existing attached garage to an ADU or JADU



(F) Convert your existing detached garage to an ADU



"green" building represents potential ADU and JADU locations

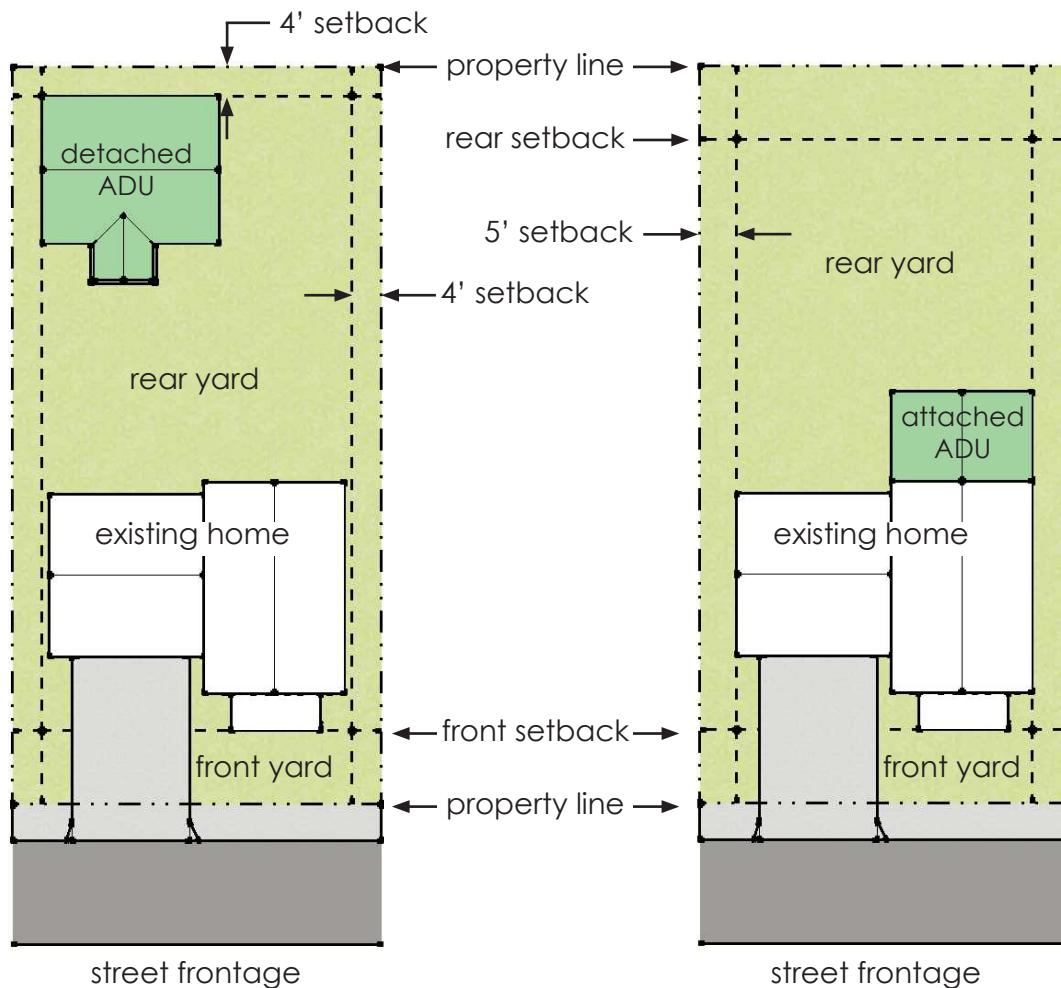


"white" building represents existing principal residence



ADU CONSIDERATIONS FOR TYPICAL RESIDENTIAL PROPERTIES

ADUs are permitted on lots with a single-family or multi-family dwelling unit. Below are examples of typical residential lots with either a detached or an attached ADU.



Important considerations when locating an ADU include required setbacks, street frontage, yard space, and lot coverage. Additionally, attempt to maintain existing healthy and established trees if possible.

RECOMMENDATIONS FOR ADU DESIGN

- Research existing easements and utilities on your lot.
- Consider placing your ADU where there is easy access to utilities to avoid digging long trenches.
- Engage a civil engineer to assist with utility connections.
- Obtain a geotechnical report to understand the soil conditions on your lot.

TIPS FOR SELECTING A DESIGN PROFESSIONAL OR CONTRACTOR

When selecting an architect/ designer or contractor, consider the following:

- Verify the professional is licensed, bonded, and insured
- Ask for references with similar ADU and JADU projects

When selecting a contractor, consider obtaining three or more bids.



ADU PROCESS



Determine if an ADU or JADU is allowed on your property



Evaluate your lot and neighborhood for compatibility



Hire a contractor and define construction costs



Complete final inspection and enjoy!!

STEP #1

STEP #2

STEP #3

STEP #4

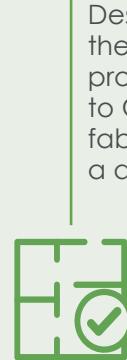
STEP #5

STEP #6

STEP #7



Define your needs and budget



Design your ADU using the City's permit-ready prototype plans (refer to Chapter 4), a pre-fabricated ADU, or hire a design professional



Apply for a building permit, pay applicable fees, and construct your ADU upon issuance of a building permit

Consult with the Planning Division if you have questions about completing these steps. Refer to Chapter 5 for a list of City contacts.





DUBLIN
CALIFORNIA

CHAPTER 2:

DESIGN CONSIDERATIONS



COMPATIBILITY AND NEIGHBORHOOD CHARACTER



ADUs provide a number of benefits, such as including additional housing choices and affordable rental housing.

One key consideration when designing an ADU is to incorporate design elements and architectural features from the principal residence into the ADU.

It is important to maintain neighborhood character and be compatible with surrounding development. See examples of design elements to the right and on the following page, and look for opportunities to integrate these elements into your ADU design.

Communities with HOAs

If your property is within a Home Owners Association (HOA), make sure to work with the HOA and review the HOA guidelines for design standards that may affect your specific community.



Examples of Design Elements

High, steep pitch roof

Lap siding

Simple posts and covered porch



Front facing gable

Stucco siding

Brick veneer



Roof pitch

Lap-siding

Contrasting trim





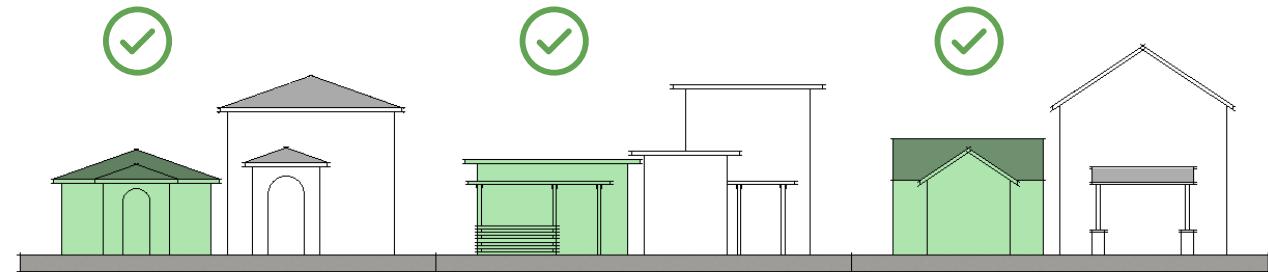
What are elements that help define compatibility?

- Architectural style and details
- Roof style, pitch, and material
- Number of stories
- Building massing
- Distance between adjacent residences
- Setback and yard areas
- Building colors and materials
- Light fixtures
- Entry feature design and location
- Window placement and detailing

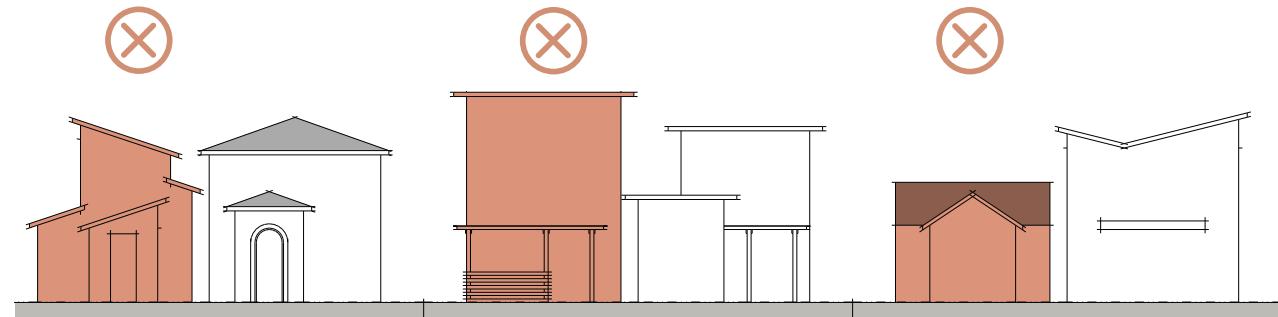
How can you maintain privacy for yourself and your neighbors?

Be a good neighbor by discussing your project with adjacent property owners to understand their concerns and design your ADU to reduce visual and privacy impacts. For example:

- Locate windows to not overlook adjacent yards or into adjacent residences
- Orient frequently used portions of the ADU away from adjacent property
- Provide landscape screening
- Shield parking and above ground utilities from view



GOOD: consistent roof slope, massing, entry feature, and architectural style.



BAD: different roof slope, massing, entry feature, and architectural style.



DESIGN CONCEPTS

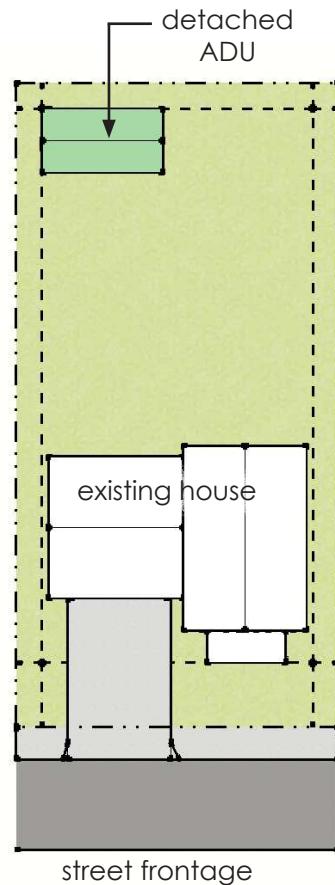
ADUs come in a variety of shapes and sizes and can be:

- Detached
- Attached
- Conversion of an existing space
- Minimum 150 SF
- Maximum 1,200 SF (ADU) / 500 SF (JADU)

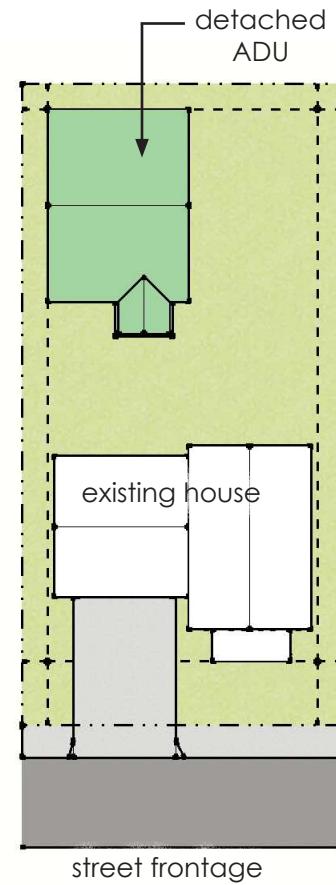
One of the first considerations with your ADU design will be to think about **who will live there**, and **how it will be used**.

- Different users have different needs when it comes to living space, accessibility, privacy, connectivity, and storage
- Note that short term rentals (30 days or less) are not allowed

To streamline the process and help reduce costs for the property owner, the City has created permit-ready prototype plans. See Cost Saving Opportunities in Chapter 4 for more additional information.



150 Square Foot ADU Design -
Studio



1,200 Square Foot ADU Design -
2 Bedroom



ZONING ORDINANCE REQUIREMENTS



ADUs and JADUs are subject to ministerial approval if they comply with the requirements contained in Dublin Municipal Code (DMC) summarized below and on the following page. Links to the DMC sections referenced in this table are provided within Chapter 5 of this Manual. Please refer to **DMC Chapter 8.80** for the complete list of ADU regulations.

ISSUE/QUESTION	STANDARD
Which Zones Allow ADUs?	ADUs and JADUs are permitted in all Residential zoning districts and Planned Development zoning districts that permit residential development, including: A, R-1, R-2, R-M, and PD. ADUs are also permitted in the C-1 zoning district.
Is Design Review Required?	Discretionary design review is not required. ADUs are subject to ministerial building permit review process.
Ownership	ADUs: Owner-occupancy of the principal residence and/ or ADU is not required. JADUs: Owner-occupancy of the principal residence is required. ADUs and JADUs may not be sold or otherwise conveyed separately from the lot or principal residence.
Short-Term Rentals	ADUs and JADUs may not be rented for terms of 30 days or less.
Setbacks	ADUs are not permitted within the front setback. Newly constructed attached and detached ADUs must be a minimum of four feet from any side and rear property lines. Conversions of existing spaces and garages do not have setback requirements, as long as the original space is legally permitted.
Building Separation	If the ADU is detached from the principal residence, the distance between the structures must comply with DMC Chapter 7.34 .
Number of Units/ Density: Single-Family Residence	A maximum of one ADU and one JADU are allowed per property, except no ADU or JADU is permitted on a lot created by an Urban Lot Split created in accordance with DMC Chapters 8.81 and 9.54 involving a previously vacant parcel. The JADU may be in addition to a detached ADU.
Number of Units/ Density: Multi-Family Residence	1) A maximum of two detached new ADUs per property, or 2) The maximum number of ADUs within multi-family zoning districts may not exceed 25% of the number of legally established dwelling units within the structure.

ZONING ORDINANCE REQUIREMENTS



ISSUE/QUESTION	STANDARD
Lot Size/ Coverage	Single-family and multi-family residential parcels are not subject to a minimum lot size for ADU projects. The principal residence and ADU combined shall not cover more than 60% of the lot. For lot coverage requirements, refer to Chapter 4 of this Manual.
Size per Unit: ADU and JADU Size	ADUs: 150 SF to 1,200 SF* JADUs: 150 SF to 500 SF** * Attached ADUs may not exceed 50% of the existing principal residence ** Excluding any shared sanitation facility within the principal residence
Building Height	The maximum height of a detached ADU may not exceed 16 feet. The maximum height for an attached ADU must conform to the height requirements of the zoning district where the lot is located.
Balconies and Decks	ADUs may not have balconies on an elevation directly facing the side lot line. Allowed balconies must be located a minimum of 10 feet from side and rear property lines. ADUs may not contain any rooftop terraces or roof top decks.
Design Compatibility	ADUs must incorporate the same or similar design features, building materials, colors, and landscaping as the principal residence.
Allowed Number of Bedrooms	There is no maximum number of bedrooms allowed in an ADU, as long as the ADU complies with maximum ADU size requirements and minimum bedroom sizes per the California Building Code (CBC).
Windows, Doors and Egress	Emergency egress must be provided from all habitable spaces as defined per the CBC. Egress windows and doors must be operable and meet the size requirements per the CBC.
Fire Sprinklers	Fire sprinklers are not required in an ADU or JADU unless they are required for the principal residence.

PARKING REQUIREMENTS

An ADU must be provided with one off-street parking space per unit or per bedroom, whichever is less, with exceptions provided in the box to the right. Studio ADUs do not require parking. Parking can be either covered or uncovered, and may be in a tandem configuration and otherwise comply with the requirements of DMC Chapter 8.76. No parking is required for JADUs. However, if parking is provided, the parking space must comply with the requirements of DMC Chapter 8.76, except that the space may be compact or uncovered, and may be in tandem with the required parking of the principal residence.

Conversion of an Existing Structure

Properties which convert an existing structure or garage into an ADU or JADU are not required to replace parking.

Bicycle Parking

Bicycle parking is not required to be provided for the construction of an ADU or JADU.

Displaced Parking (if Applicable)

Any existing required parking that is displaced in order to accommodate a new ADU must be replaced on the project site, except as described on this page.

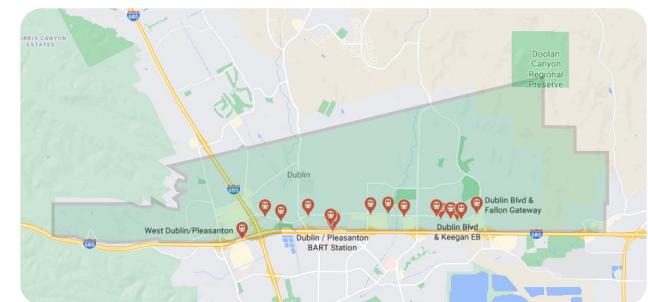
EXCEPTIONS TO ADU PARKING REQUIREMENTS

No off-street parking is required for an ADU when one or more of the following is met:

1. The ADU is located within one-half mile walking distance of a public transit stop.
2. The ADU is located within an architecturally and historically significant historic structure.
3. The ADU is within the proposed or existing residence or accessory structure.
4. When on-street parking permits are required, but not offered to the occupant of the ADU.
5. When there is a car share vehicle located within one block of the ADU.



Uncovered ADU parking may share an existing driveway, **9 foot by 18 foot** minimum size. ADU parking may share an enclosed garage, **10 foot by 20 foot** minimum size.



Research transit stops and determine distance to your property. **BART** (<https://www.bart.gov/stations/dubl>), and **Livermore Amador Valley Transit Authority** (<https://www.wheelsbus.com/routes-and-schedules/>)



CHAPTER 3:

ADU CONCEPTS AND TYPES



DUBLIN
CALIFORNIA

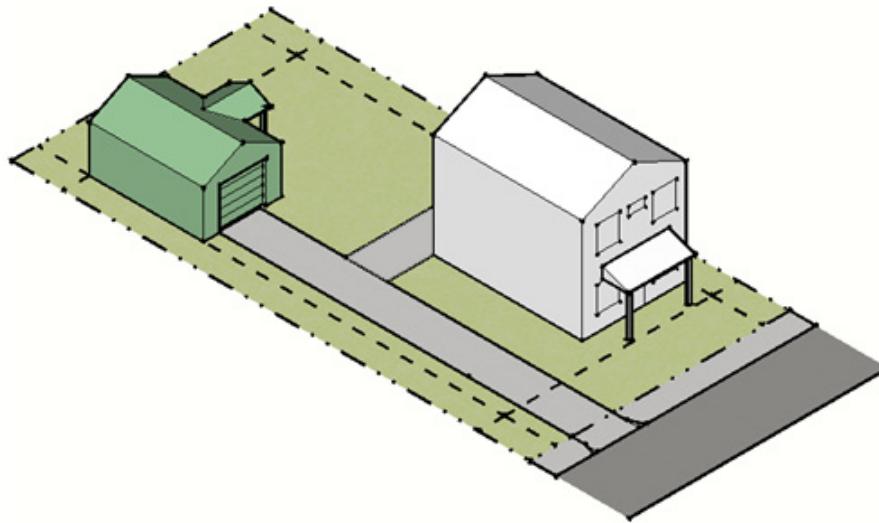


This chapter includes examples of the varying types of ADUs and notable development requirements.

GARAGE CONVERSIONS: FREESTANDING

Requirements for this alternative include:

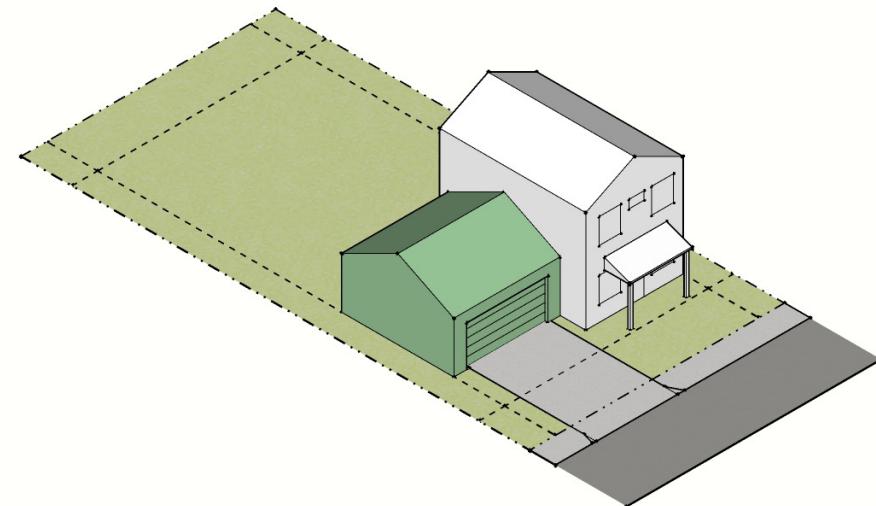
- Must keep the existing garage door.
- Can keep all existing siding, roof, and structure unless required to update for conformance with the California Building Code.
- Setback requirements are grandfathered when the ADU is contained within an existing structure. Setback requirements do apply if expanding a structure.



GARAGE CONVERSIONS: ATTACHED

Requirements for this alternative include:

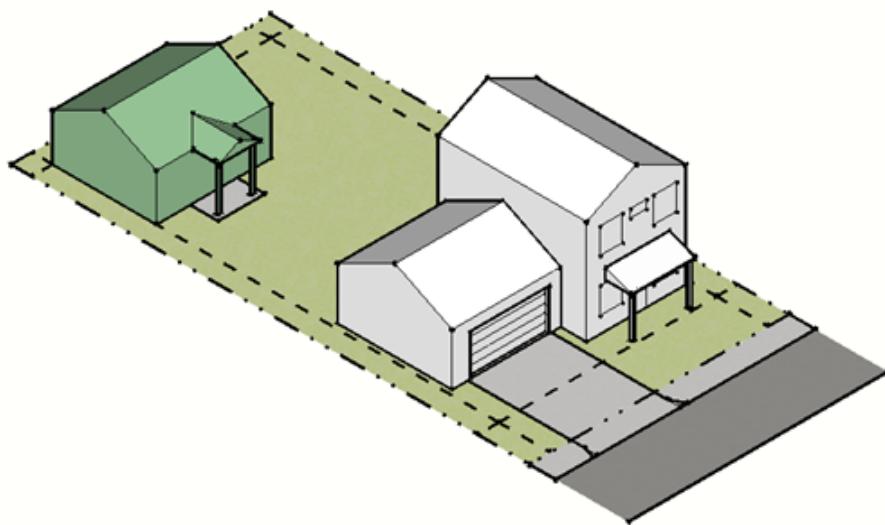
- Must keep the existing garage door.
- Must provide fire separation between principal residence and ADU.
- Can keep all existing siding, roof, and structure unless required to update for conformance with the California Building Code.
- Setback requirements are grandfathered when the ADU is contained within an existing structure. Setback requirements do apply if expanding a structure.



DETACHED ADU

Requirements for this alternative include:

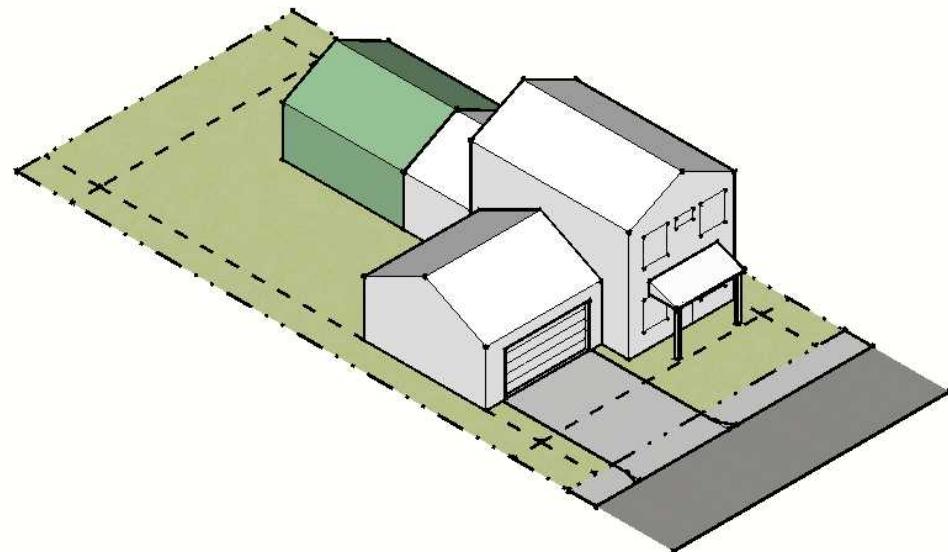
- New construction must comply with four-foot side and rear yard setback requirements and 16-foot height limitations.
- Entry porches cannot face side yards.
- Separation between the principal residence and ADU are determined by DMC Chapter 7.34.



ATTACHED ADU

Requirements for this alternative include:

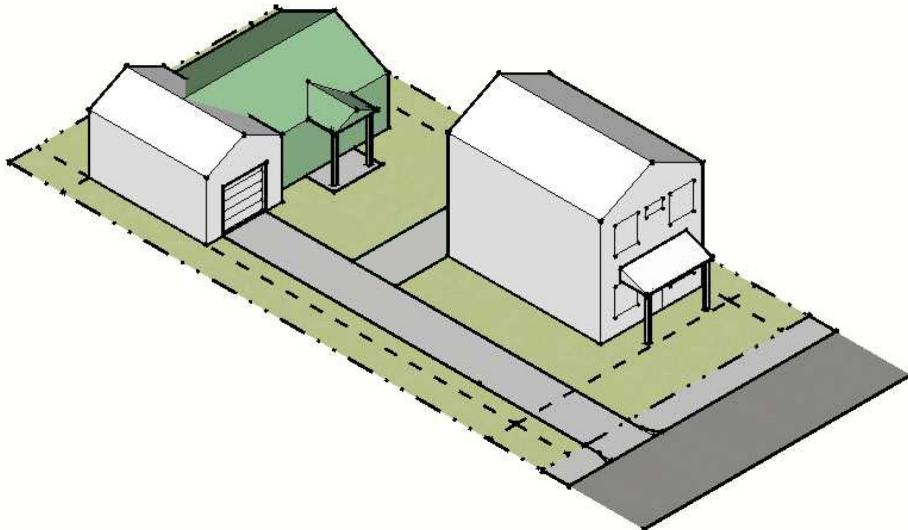
- New construction must comply with four-foot side and yard setback requirements and height limits of zoning district where the lot is located.
- Fire separation requirements may be required between principal residence and ADU.



ADU ADDITION TO GARAGE

Requirements for this alternative include:

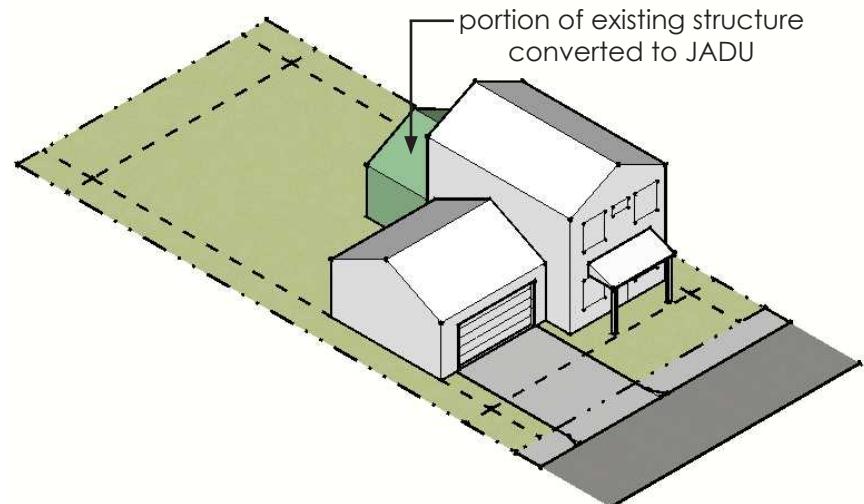
- New construction must comply with four-foot side and rear yard setback requirements and height limits of zoning district where the lot is located.
- Fire separation between garage and ADU is required.



JADU

Requirements for this alternative include:

- Must be built within the walls of an existing structure.
- Must have a separate entrance from the principal residence.
- May share an existing bathroom with the principal residence.
- May include a small efficiency kitchen with a sink.
- Setback requirements are grandfathered in when the JADU is contained within an existing structure.



CHAPTER 4: IMPLEMENTATION



DUBLIN
CALIFORNIA





FINANCING - WHERE TO START

An ADU can require a large upfront investment, and financing will be an important consideration. Local financial institutions offer a range of ways to finance an ADU. If you have owned your property for several years or more, you may be able to leverage your own property's value to finance an ADU.

Talk to a finance professional to see if one of these options may work for you:

- Loan (Renovation, Construction, or Non-Secured)
- Cash-Out Refinance
- Cash savings or other Liquid Assets
- Home Equity Line of Credit (HELOC)

Refer to Chapter 5 of this Manual for a list of financing resources.

COST CONSIDERATIONS

A complete understanding of the project cost is an important part of your project's success. There are two main types of construction costs: soft costs and hard costs.

Soft Costs may include:

- Financing and interest
- Architectural/design services
- Structural engineering services
- Soils engineering services and reports
- Energy documents
- Permitting and impact fees
- Utility connection

Hard Costs may include:

- Demolition
- Site preparation
- Materials
- Construction/ labor
- Landscaping

Potential cost savings of constructing an ADU or JADU within an **existing structure** include:

- Use of the existing roof, structure, windows, and siding
- Reduced or eliminated impact fees
- No soils report required
- Utilities may be easier to connect to the existing structure

Potential cost implications of constructing an ADU within a new **detached structure** include:

- The entire structure has to be built, including foundation, structure, siding, roof, and windows
- Added square footage may increase property value and earning potential
- Impact fees are required for ADUs that are 750 SF or greater in size
- Permitting fees are required for ADUs 750 SF or greater in size, except if they are deed restricted as lower-income units for a period of 55 years
- Utility connections may require trenching and upgrades
- Soils engineering services are required
- Civil engineering and landscaping may be required



COST SAVING OPPORTUNITIES

Prototype Plans

The City has prepared permit-ready ADU prototype plans. These include ADUs designed to be either attached or detached, and plans for converting a garage to an ADU.

The prototype plans include studios, one-bedroom, and two-bedroom ADUs that range in size from 224 to 909 square feet.

The ADU prototypes are available in three different architectural styles: Spanish, Traditional, and Modern; however, the exterior colors, materials, and architectural style of ADUs will be required to match the principal residence. The ADU prototype plans are designed with some ability for customization, such as selecting a window or door in a particular location.

The prototype plans are available on the City's Planning Division webpage at: <https://dublin.ca.gov/116/Planning>.

By using one of the prototype ADU plans, you can save on the following soft costs:

- **Architectural design services**
- **Structural engineering services**
- **Energy documents**
- **Plan submittal preparation time**

The City will provide homeowners, free of charge, with floor plans, elevations, electrical and plumbing plans, structural calculations, and preliminary energy calculations. These plans have been reviewed for compliance with all required building codes.

The homeowner is responsible for preparing a site plan and hiring a geotechnical engineer to prepare a geotechnical report. The property owner may prepare the site plan using the aerial imagery of their lot from sources like the City's GIS Portal (<https://dublin.ca.gov/93/Maps-Property-Reports>) or hire a design professional to help them.

Permit Fee Waiver

Effective January 1, 2022, through December 31, 2026, ADUs less than 750 square feet and ADUs 750 square feet or larger that are deed restricted as lower-income units for a period of 55 years are not subject to certain City permit fees. Refer to the City's Master Fee Schedule and Chapter 5 of this Manual for additional information.

Impact Fee Waiver and Reduction

Effective January 1, 2020, through January 1, 2025, ADUs less than 750 square feet are not subject to impact fees. ADUs 750 square feet or larger are subject to impact fees that are proportional in relation to square footage of the principal residence, or based on the impact fee per ADU, whichever is less.

Water Meters

Dublin San Ramon Service District (DSRSD) does not require a separate water meter for ADUs, saving both time, money, and permit fees. Refer to dsrsd.com for additional water meter and utility information.

PERMITTING



Permitting Procedures

A building permit application for an ADU or JADU must be submitted to the Building and Safety Division of the Community Development Department.

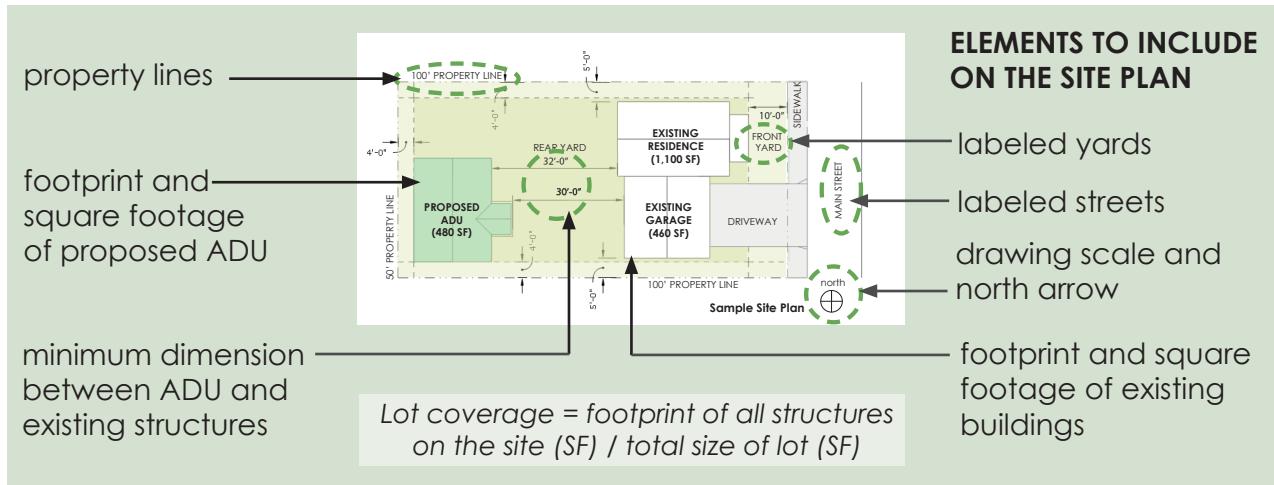
If there is an existing principal residence on the lot, an application for an ADU or JADU will be subject to ministerial building permit review.

Can I receive a building permit for an ADU and principal residence at the same time?

If an application for an ADU or JADU is submitted with a building permit application to create a new principal residence on a lot, the application for the ADU or JADU may not be acted upon until the building permit for the new residence is approved.

How to get a building permit?

Begin by talking to the Planning Division about your project and bring in a rough site plan to discuss submittal requirements. During the building permit process, the City will formally review your application and comment on the plans to ensure all items are complete.



Building Permit Submittal Items

In addition to the standard submittal requirements for a building permit, the ADU or JADU application shall include the following items:

- A site plan drawn to scale, showing the dimensions of the perimeter of the parcel on which the ADU or JADU will be located. The site plan must indicate the location and dimensioned setbacks of all existing and proposed structures on the site.
- Lot coverage calculations indicating the square footage of the structures and the lot, including calculations on the plan for the percentage of lot area covered by the foundation of the new and existing dwelling units.
- Elevations for ADUs that include modifications to the exterior of the principal residence or new construction, showing all openings, exterior finishes, original and finish grades, stepped footing outline, roof pitch, materials and color board for the existing residence and the proposed ADU.
- Existing and proposed utility and service information, such as utility easements, services and connections. Refer to Chapter 5 for a list of local providers and start with the following:
 - 1) Contact a surveyor or civil engineer
 - 2) Review your preliminary title report
 - 3) Visit the Alameda County Public Works Agency's survey documents website at: <http://acgov.org/surveyor/>
 - 4) Contact the Public Works Department at (925) 833-6630

If you have any questions regarding building permit requirements, contact the Building and Safety Division at (925) 833-6620. For information on applying for a building permit, visit <https://www.dublin.ca.gov/586/Building-Permits>

CHAPTER 5:

GLOSSARY AND RESOURCES



DUBLIN
CALIFORNIA



TERMS

DEFINITIONS

ACCESSORY DWELLING UNIT (ADU):

A residential unit that provides independent living facilities for one or more persons and includes separate kitchen, sleeping, and bathroom facilities. An accessory dwelling unit may be a part of, attached to, or detached from, a single-family, two-family or multi-family residence and is subordinate to the principal residence. Also included: efficiency unit as defined in Section 17958.1 of the Health and Safety Code, and a manufactured home as defined in Section 18007 of the Health and Safety Code.

ATTACHED ADU:

An ADU that is attached by at least one wall to the principal residence.

DETACHED ADU:

A free standing ADU that is separate from the principal residence.

EFFICIENCY KITCHEN:

Limited kitchen facilities that contains a sink and small electric appliances that do not require electrical service greater than 120 volts, and a limited food preparation counter and storage cabinets. Full-sized electric, gas, or propane cooking appliances are not allowed.

JUNIOR ACCESSORY DWELLING UNIT (JADU):

A residential unit that is no more than 500 square feet in size that is contained entirely within the walls of a single-family residence, including attached garages and has a separate entrance. At a minimum, a JADU must include an efficiency kitchen with a food preparation counter, cooking facility with appliances and storage cabinets, and may include separate sanitation facilities or may share sanitation facilities within the existing single-family residence.

TERMS

DEFINITIONS

LOT COVERAGE:

The maximum lot area which may be covered with buildings and structures. Buildings and structures include all land covered by principal buildings, garages and carports, accessory structures, covered decks and gazebos, and other enclosed and covered areas; but not standard roof overhangs, cornices, eaves, uncovered decks, swimming pools, paved areas such as walkways, driveways, patios, uncovered parking areas or roads. All areas of coverage are computed in terms of net lot area at ground level.

PRINCIPAL RESIDENCE:

A building or structure being occupied by the principal use on the site. In any residential zoning district, any existing dwelling unit must be considered a principal residence on the site.

SETBACK:

The required distance that a building or structure must be located from a property line.

RESOURCES

CITY OF DUBLIN

PLANNING DIVISION

email: planningpermits@dublin.ca.gov
phone: (925) 833-6610

BUILDING AND SAFETY DIVISION

email: planchecks@dublin.ca.gov
phone: (925) 833-6620

PUBLIC WORKS AND ENGINEERING

email: public.works@dublin.ca.gov
phone: (925) 833-6630

FIRE DEPARTMENT

Alameda County Fire Department:
<https://dublin.ca.gov/22/Fire-Services-Prevention>
email: dublinfp@acgov.org
phone: (925) 833-6606

MASTER FEE SCHEDULE:

<https://dublin.ca.gov/1330/Fee-Schedule>

DUBLIN ADU WEBSITE:

<https://dublin.ca.gov/2428/Accessory-Dwelling-Units>

ADU PROTOTYPE PLANS:

<https://dublin.ca.gov/116/Planning>

DUBLIN MUNICIPAL CODE

Chapter 7.34, Residential Code:

<https://www.codepublishing.com/CA/Dublin/#!/Dublin07/Dublin0734.html#7.34>

Chapter 8.76, Off-Street Parking and Loading Regulations:

<https://www.codepublishing.com/CA/Dublin/#!/Dublin08/Dublin0876.html#8.76>

Chapter 8.80, Accessory Dwelling Unit Regulations:

<https://www.codepublishing.com/CA/Dublin/#!/Dublin08/Dublin0880.html#8.80>

PERMIT/ PLAN CHECK FEE WAIVER FORM

ADUs with a floor area less than 750 square feet, or a floor area equal to or greater than 750 square feet that is deed-restricted as a lower-income unit for a period of 55 years, are eligible for the City of Dublin's Fee Waiver Program:

<https://www.dublin.ca.gov/DocumentCenter/View/29300/ADU-Supplemental-Application-form-fee-waiver->

PUBLIC UTILITIES

ELECTRICITY

Pacific Gas & Electric (PG&E):
<https://www.pge.com/>

East Bay Community Energy (EBCE):

<https://ebce.org>

WASTE

Amador Valley Industries (AVI):
<https://www.amadorvalleyindustries.com/>

WATER/SEWER

Dublin San Ramon Service District (DSRSD):
<https://www.dsrsd.com/>

RESOURCES

RENTAL RESOURCES

Alameda County Housing and Community Development Department Rental Housing:
<https://www.acgov.org/cda/hcd/rhd/index.htm>

Alameda County Housing Portal:
<https://housing.acgov.org/>

Housing Choices for Alameda County:
<https://achousingchoices.org/>

City of Dublin Rental Housing Webpage:
<https://dublin.ca.gov/669/Rental-Housing>

ADDITIONAL ADU RESOURCES

California Department of Housing and Community Development:
<https://www.hcd.ca.gov/policy-research/accessorydwellingunits.shtml>

American Association of Retired People:
<https://www.aarp.org/livable-communities/housing/info-2019/accessory-dwelling-units-adus.html?CMP=RDRCT-CSN-OTHER-LIVABLE-012819>

FINANCING RESOURCES

CALHFA ADU GRANT PROGRAM
Provides a grant for qualifying low and moderate income homeowners:
<https://www.calhfa.ca.gov/adu/>

THE CASITA COALITION
Provides an ADU Finance Guide for Homeowners:
<https://www.casitacoalition.org/guidebooks-for-homeowners>

REGIONAL ORGANIZATIONS AND ADU NONPROFITS

The following websites provide technical and/or financial support and may be able to assist low-income homeowners in ADU financing:

https://www.hcd.ca.gov/policy-research/docs/adu_december_2020_handbook.pdf

<https://www.soup.is/adu-details>

<https://housingtrustsv.org/programs/homeowner-programs/accessory-dwelling-unit-program/>

<https://www.smcu.org/Loans/Home-Loans/ADU-Loan>

<https://keystoequity.org/>



DUBLIN
CALIFORNIA

